

Habitat for Humanity - Single Family Home

115 Glendale Rd., Northampton, MA,

Construction Documents

06 JUNE 2020



EAST ELEVATION

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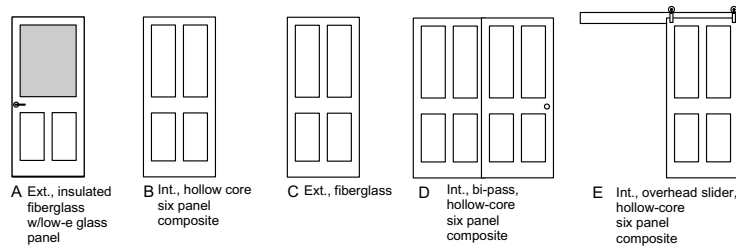
GENERAL REQUIREMENTS

NOTE! The General Requirements are an integral part of this document set. Any part of the project not installed according to these requirements may be subject to removal and reinstallation at the GC's expense.

1. Do not scale drawings, use written dimensions & notations only. Order of hierarchy: Equal Equal (EQ) and Alignment lines take precedence over hard dimensions. Detailed drawings take precedence over general plans. All dimensions are from face of framing unless otherwise indicated.
2. General Contractor and Subcontractors (GC) or Owner shall notify Austin Design Inc (ADI) of any discrepancies or inconsistencies in dimensions, notes, or other information in architectural drawings. Failure of Owner and/or GC to notify ADI of any error found in these drawings and/or to give ADI the opportunity to correct those errors shall indemnify ADI from all and any claims and damages relating to this project. Any changes made to these drawings by any person or entity other than ADI shall indemnify ADI from all and any claims and damages related to this project. Any variation in construction of the project from these drawings by Owner and/or the GC without written notice to ADI shall indemnify ADI from all and any claims and damages related to this project. Use of some or all of these drawings in any other project is not permitted without written permission of ADI.
3. All framing tolerances will be within 1/4". All finish tolerances will be within 1/64". If foundation does not permit this, contact ADI.
4. GC shall be responsible for securing all applicable permits as required for their respective trades. This includes providing respective engineering, if required to obtain permit.
5. All structural information provided in these plans for pre-engineered & manufactured structural elements is for illustrative purposes only. The GC shall be responsible for submitting all structural specifications as indicated in plans by structural engineer, including stamped engineering drawings for manufactured structural components if required, and submitting them to ADI for review prior to ordering and/or purchasing.
6. Information on any page of this set of drawings relates to information on other pages of this set of drawings. GC/Owner shall not submit partial sets of construction documents to subcontractors. All work shall be priced from a full and complete set of documents. The GC shall be responsible for errors or omissions of work or pricing caused by working from incomplete sets of documents.
7. All products shall be installed per manufacturer's specifications. GC shall verify all rough openings, and installation requirements for all fixtures, doors, windows, and mechanicals etc., prior to installation. GC must notify ADI if plans/SPECs conflict with MANF requirements.
8. Complete all work in a workmanlike manner consistent with all applicable building, zoning and fire codes and with all rules, laws and regulations having jurisdiction over this project.
9. At completion of job, GC shall provide Owner with a project manual containing copies of all material and equipment specs, warranty information, users manuals, installation specs, maintenance info. and all similar information.
10. The final means and methods of construction as well as the sequence of construction for this project are to be determined by the GC and the Owner.

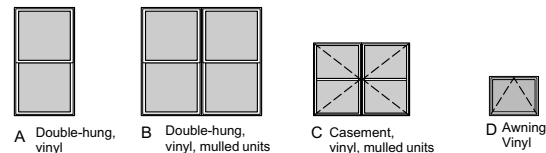
Door Schedule

ID	Type	Unit Width	Unit Height	Operation	Frame Type	Glazing	Notes
D 101A	A	3'-0"	6'-8"	Swing	wood	low-e glass panel	Insulated Fiberglass
D 101B	D	6'-0"	6'-8"	Bi-Pass	wood		Hollow-core six panel composite
D 101C	B	2'-2"	6'-8"	Swing	wood		Hollow-core six panel composite
D 102A	B	3'-0"	6'-8"	Swing	wood		Hollow-core six panel composite
D 102B	D	4'-0"	6'-8"	Bi-Pass	wood		Hollow-core six panel composite
D 103A	E	3'-0"	6'-8"	Overhead Slider	wood		Hollow-core six panel composite
D 104A	B	3'-0"	6'-8"	Swing	wood		Hollow-core six panel composite
D 104B	D	6'-0"	6'-8"	Bi-Pass	wood		Hollow-core six panel composite
D 105A	B	3'-0"	6'-8"	Swing	wood		Hollow-core six panel composite
D 106A	A	2'-6"	6'-8"	Swing	wood	low-e glass panel	Insulated Fiberglass
D 107	C	3'-0"	6'-8"	Swing	wood		Fiberglass



Window Schedule

ID	Type	Unit Width	Unit Height	Operation	Notes
W101	B	2'-6"	4'-6"	double-hung, mullied units	Vinyl, Mathews Brothers Spencer Walcot or EQ
W102	D	4'-0"	2'-0"	awning	
W103	A	2'-6"	4'-6"	double-hung	
W104	A	2'-6"	4'-6"	double-hung	
W105	D	2'-6"	2'-6"	awning	
W106	A	2'-6"	4'-6"	double-hung	
W107	B	5'-0"	4'-6"	double-hung, mullied units	
W108	A	2'-6"	4'-6"	double-hung	
W109	B	5'-0"	4'-6"	double-hung, mullied units	
W110	C	2'-6"	3'-0"	casement	
W111	D	4'-0"	1'-6"	awning	



Abbreviations

- AC: Air Conditioning
- ADDL: Additional
- AFF: Above Finished Floor
- ALUM: Aluminum
- APPROX: Approximate
- BD: Board
- BLDG: Building
- BLKG: Blocking
- BOTT: Bottom
- BR: Bedroom
- BTU: British Thermal Units
- BTWN: Between
- CAB: Cabinet
- CF: Cubic Feet
- CIP: Cast-in-Place
- CL: Centerline
- CLO: Closet
- CMU: Concrete Masonry Unit
- COL: Column
- CONC: Concrete
- CONT: Continuous
- CTR: Center
- DBL: Double
- DEMO: Demolition
- DET: Detail
- DH: Double Hung
- DIAG: Diagonal
- DIA: Diameter
- DIM: Dimension
- DL: Dead Load
- DN: Down
- DTL: Detail
- DWG: Drawing
- ELEC: Electrical
- ELEV: Elevator, Elevation
- EMER: Emergency
- EQ: Equal
- EQUIP: Equipment
- EXIST: Existing
- EXT: Exterior
- FAST: Fastener, Fasten
- FF: Finished Floor
- FIN: Finish, finished
- FL: Floor
- FT: Foot, Feet
- FTG: Footing
- GA: Gauge
- GAL: Gallon
- GALV: Galvanized
- GC: General Contractor
- GEN: General
- GWB: Gypsum Wall Board
- HDG: Hot-Dip Galvanized
- HDW: Hardware
- HDWD: Hardwood
- HEX: Hexagonal
- HORIZ: Horizontal
- HR: Hour
- HT: Height
- HVAC: Heating, Ventilating & Air Conditioning
- ID: Inside Diameter
- IN: Inch
- INFO: Information
- INSUL: Insulation
- INT: Interior
- J-box: Junction box
- KIT: Kitchen
- LB: Pound (weight)
- LH: Left Hand
- LIN: Linear
- LL: Live Load
- LR: Living Room
- LVL: Laminated Veneer Lumber
- MAT: Material
- MAX: Maximum
- MECH: Mechanical
- MFR: Manufacture, Manufacturer
- MIN: Minimum
- MISC: Miscellaneous
- MR: Moisture-Resistant
- NEC: Necessary
- NIC: Not In Contract
- NO: Number
- NTS: Not To Scale
- OA: Overall
- OC: On Center
- OD: Outside Diameter
- OZ: Ounce
- PE: Professional Engineer
- PERF: Perforated
- POLY: Polyethylene
- POLYISO: Polyisocyanurate insulation board
- PSF: Pounds per square foot
- PSI: Pounds per square inch
- PTD: Painted
- PVC: Polyvinyl Chloride
- QTY: Quantity
- R: Riser
- RCP: Reflected Ceiling Plan
- REBAR: Reinforcing Bar
- REF: Refer, Reference, Refrigerator
- REQ: Require, Required
- RH: Right Hand
- RM: Room
- RO: Rough Opening
- SCHED: Schedule
- SECT: Section
- SF: Square Foot
- SIM: Similar
- SPEC: Specification, Specifications
- SQ: Square
- SS: Stainless Steel
- STD: Standard
- STL: Steel
- STO: Storage
- SYM: Symmetrical
- T: Tread
- T&G: Tongue & Groove
- TBD: To Be Determined
- TEMP: Temporary, Tempered
- THRU: Through
- TOF: Top Of Footing
- TOW: Top Of Wall
- TRG: Trap Rock Gravel
- TYP: Typical
- UNFIN: Unfinished
- VAR: Varies
- VB: Vapor Barrier
- VCT: Vinyl Composition Tile
- VERT: Vertical
- VIF: Verify In the Field
- W/: With
- W/O: Without
- WD: Wood
- WIN: Window
- WP: Waterproof, Weatherproof
- WR: Water Resistant, Water Repellant
- WT: Weight
- WWF: Welded Wire Fabric
- XPS: Extruded polystyrene insulation board
- YD: Yard

Symbols

- Drawing Title Reference Mark
- Building Section Reference Mark
- Detail Drawing Reference Mark
- Reference Grid Marker
- Level Marker
- New Wall Int
- New Wall Ext - Shed
- New Wall Ext - House
- Window Mark
- Door Mark
- Surface Mount Light
- Sconce Light
- Switch, 3-way/Dimmer/Timer
- Duplex outlet
- Exhaust fan
- Combination Carbon monoxide/Smoke Detector
- Phone/TV/Data Cable Jack
- Coaxial



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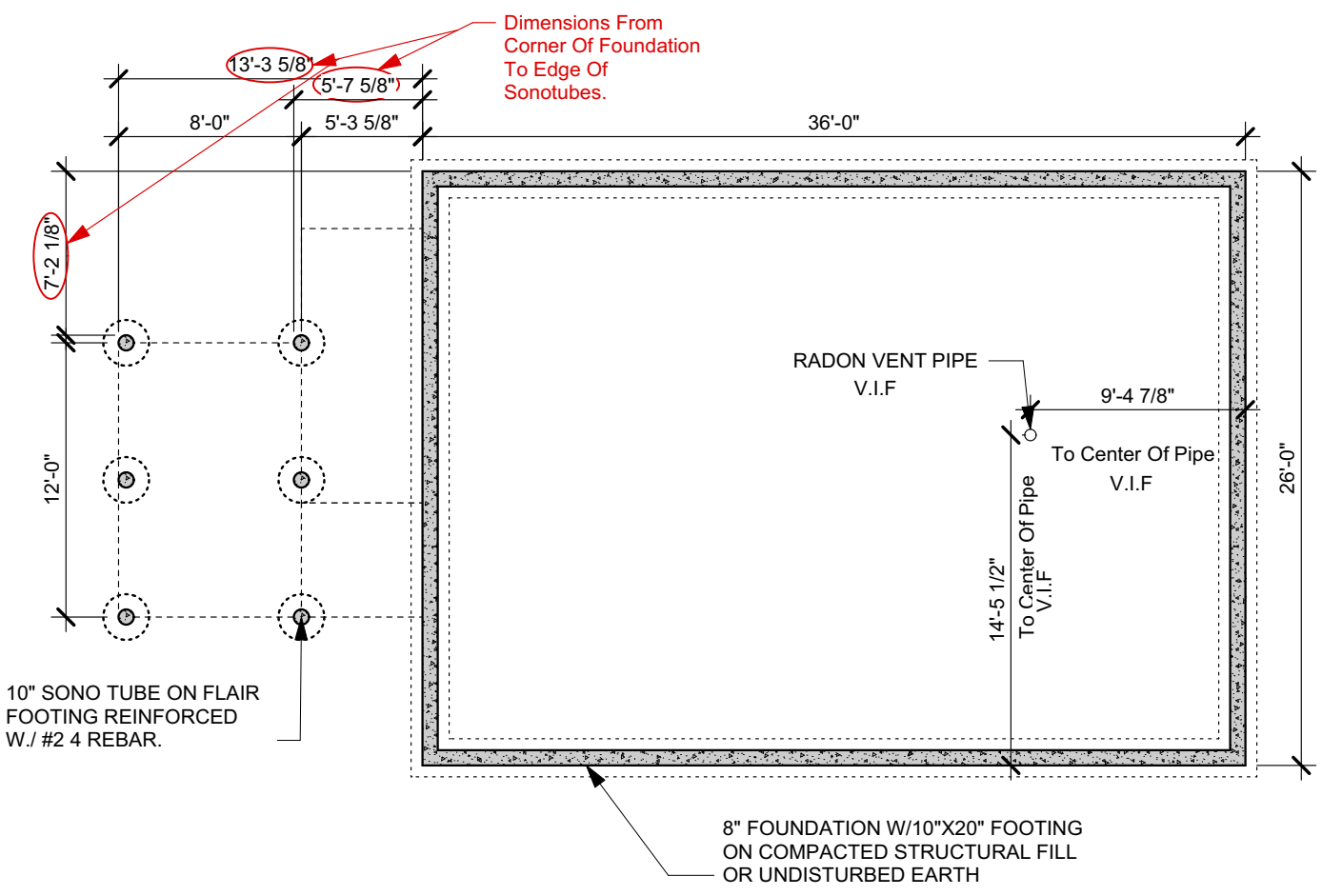


NOTES, CODE SUMMARY

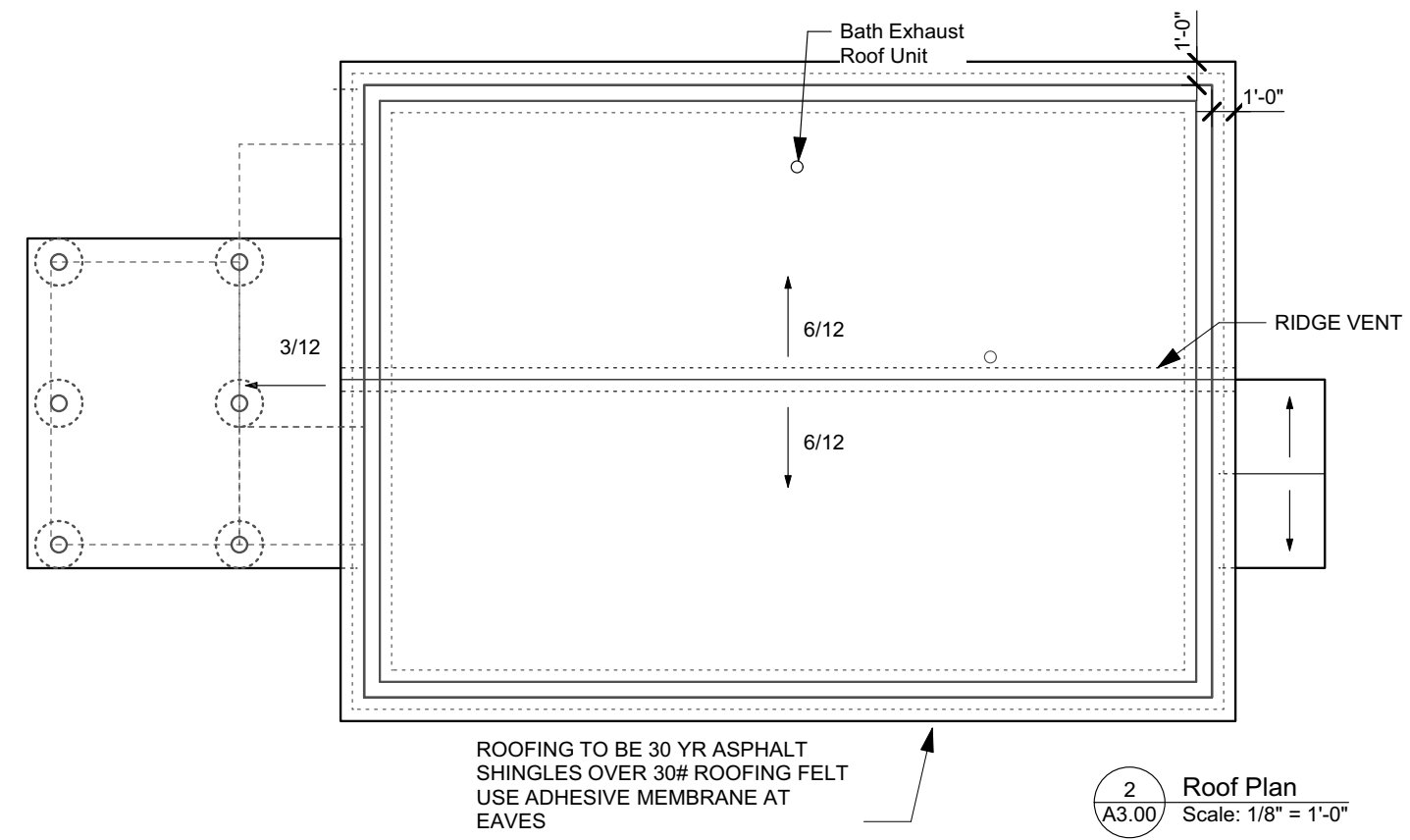
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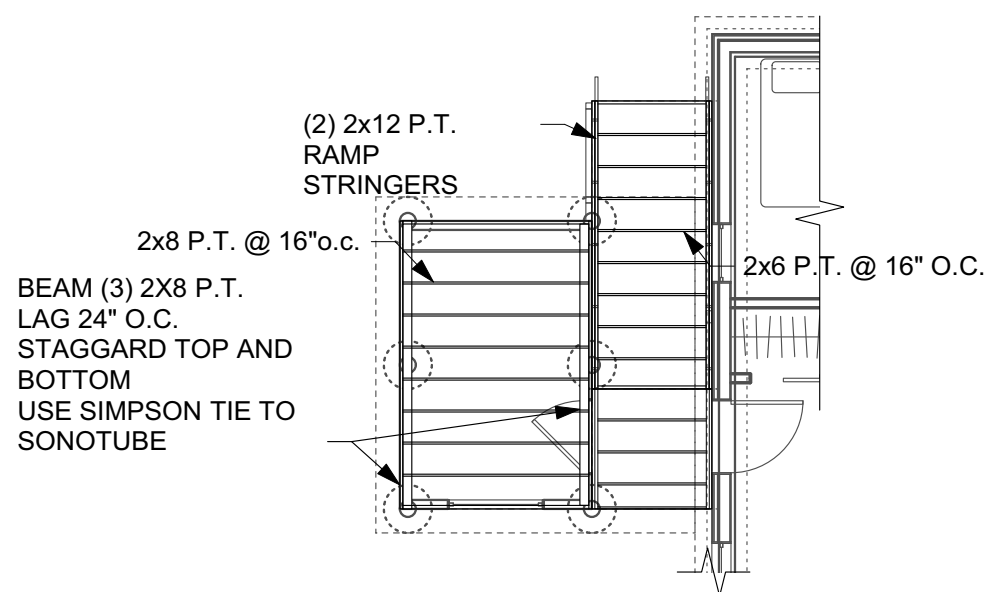
A1.10



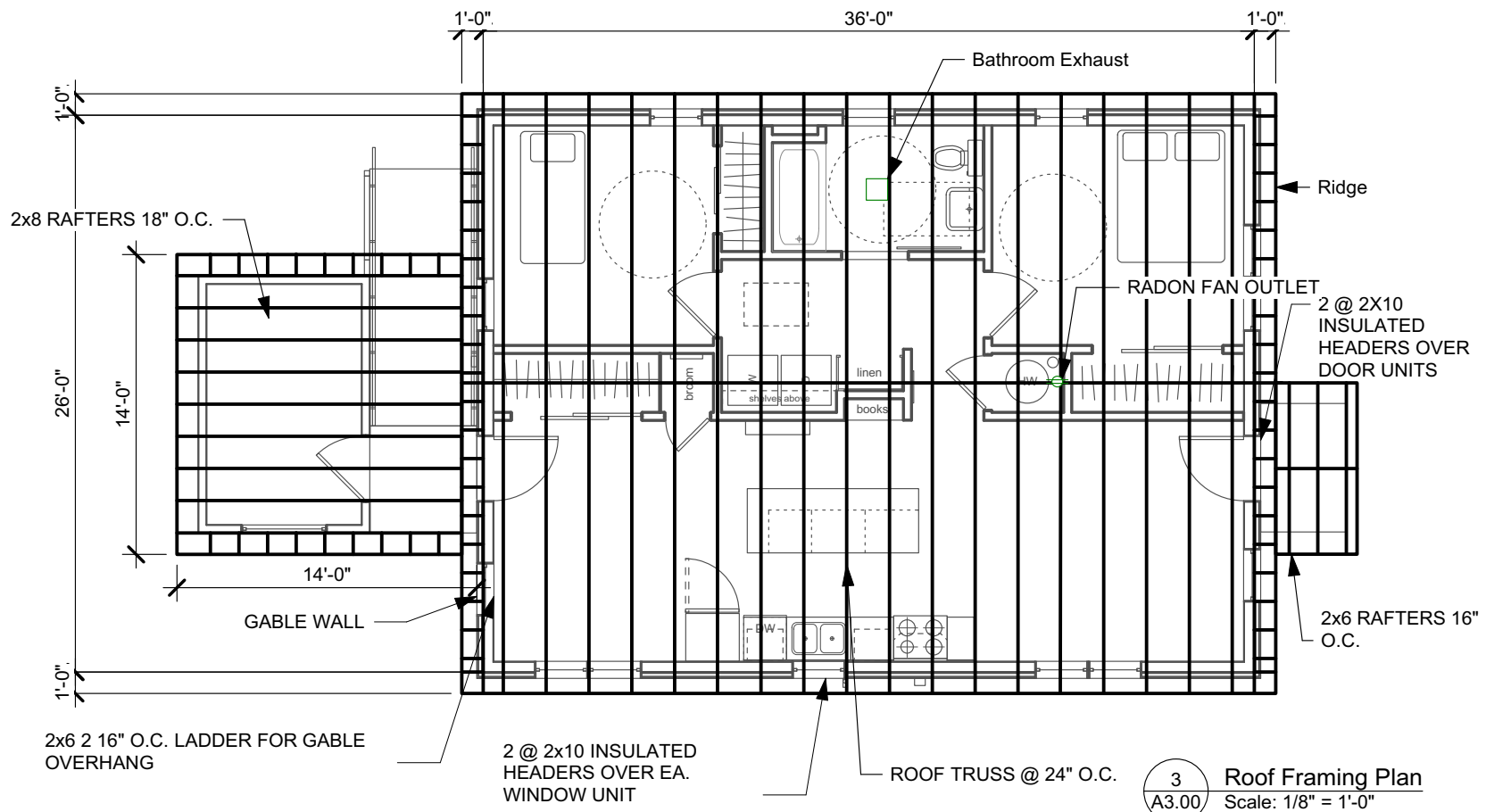
1 Foundation Plan
A3.00 Scale: 1/8" = 1'-0"



2 Roof Plan
A3.00 Scale: 1/8" = 1'-0"



4 Floor Framing Plan
A3.00 Scale: 1/8" = 1'-0"



3 Roof Framing Plan
A3.00 Scale: 1/8" = 1'-0"

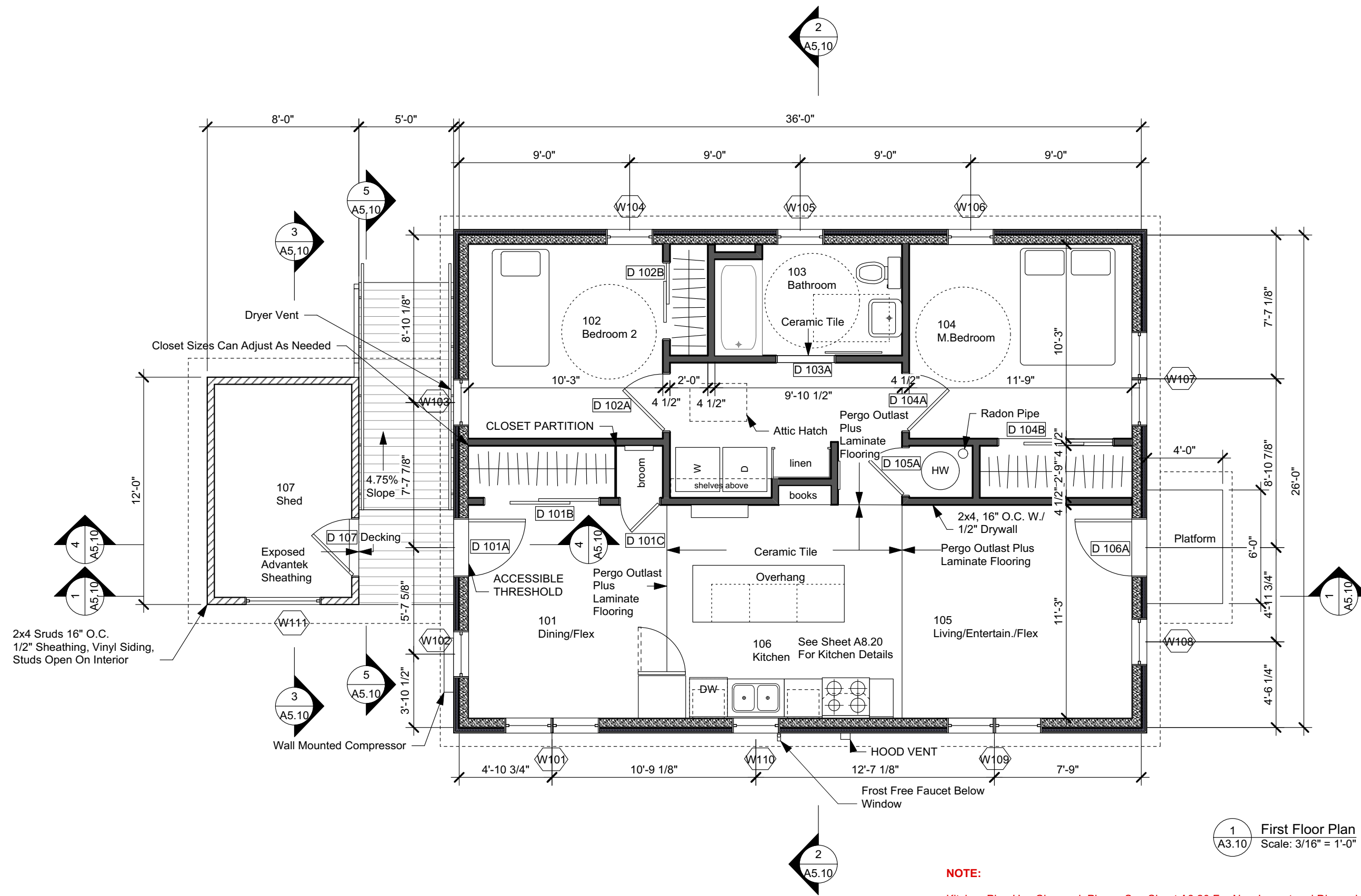


FOUNDATION, ROOF, & FRAMING PLANS

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A3.00



1 First Floor Plan
A3.10 Scale: 3/16" = 1'-0"

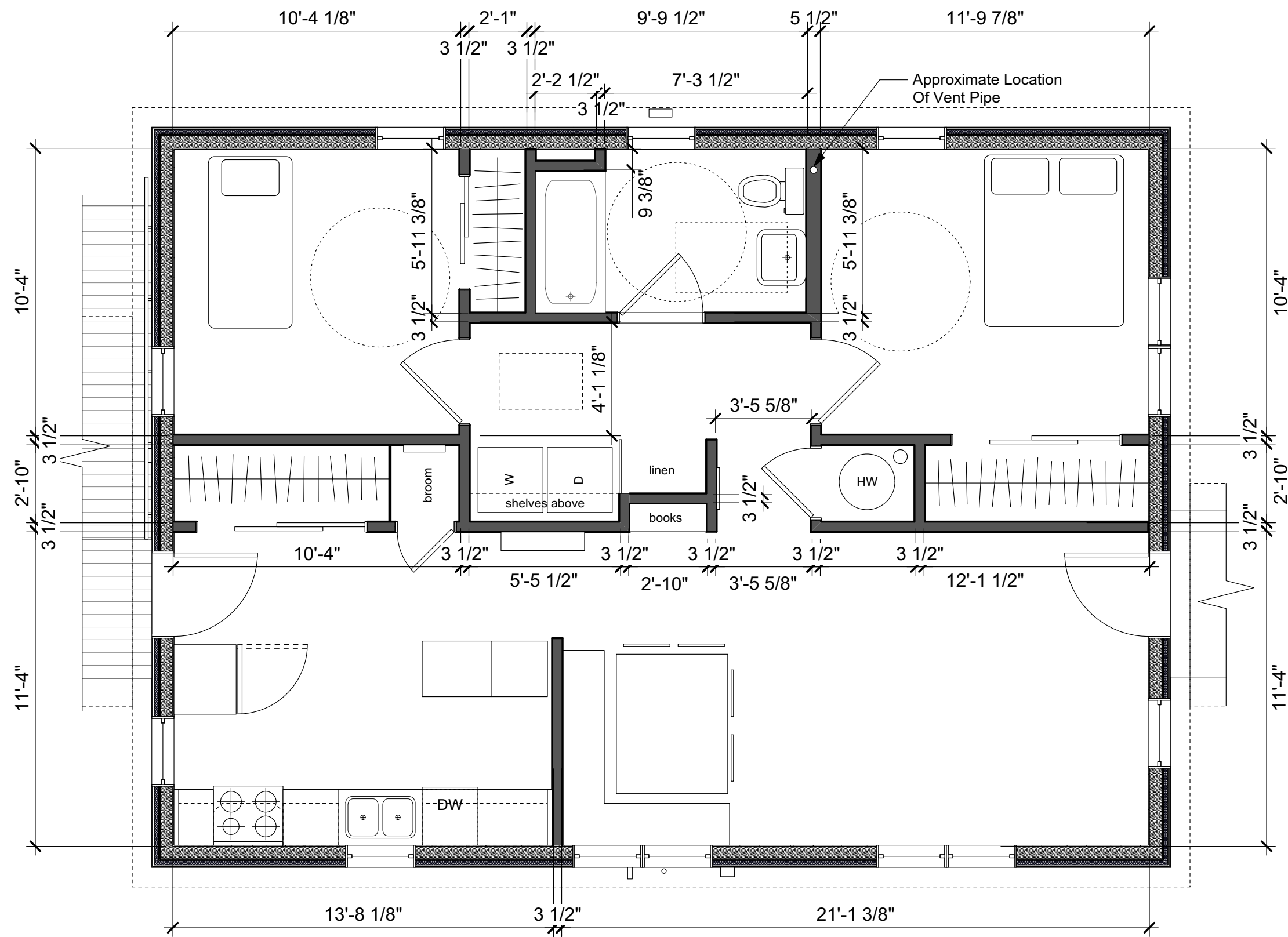
NOTE:
Kitchen Plan Has Changed. Please See Sheet A8.20 For New Layout and Dimensions



Title: FIRST FLOOR PLAN

Date: 28 SEPTEMBER 2020

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NOTE: All Dimensions Framing To Framing

1 Interior Walls
A3.20 Scale: 1/4" = 1'-0"

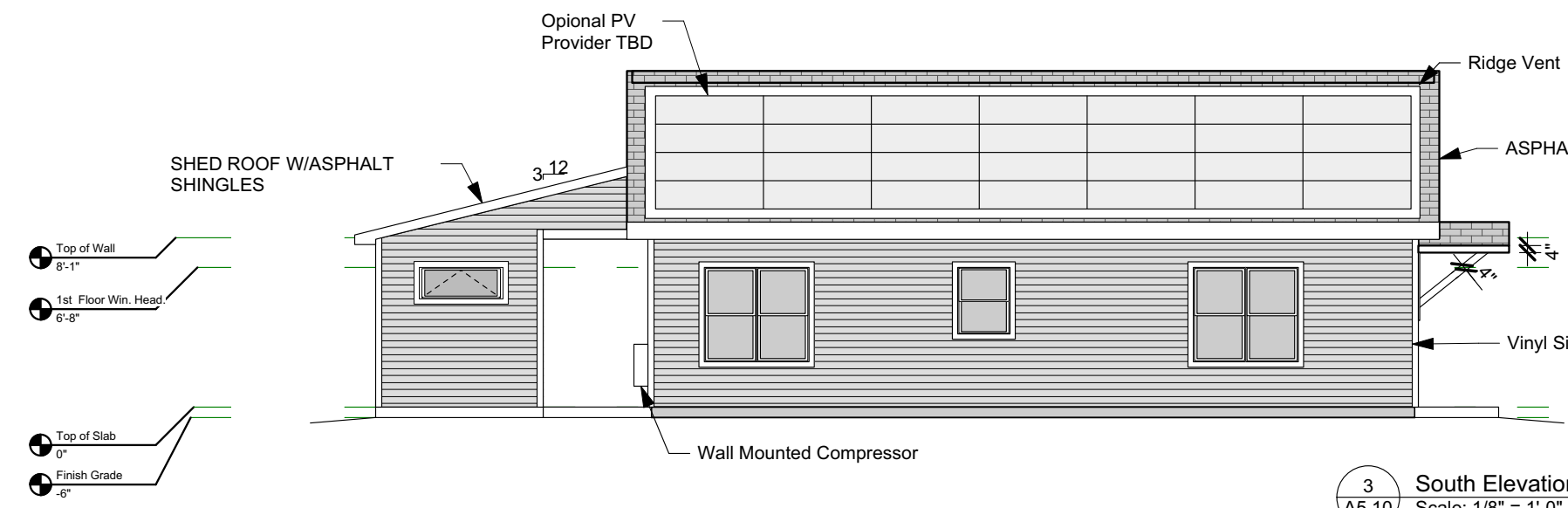


Title: FIRST FL INTERIOR WALLS PLAN

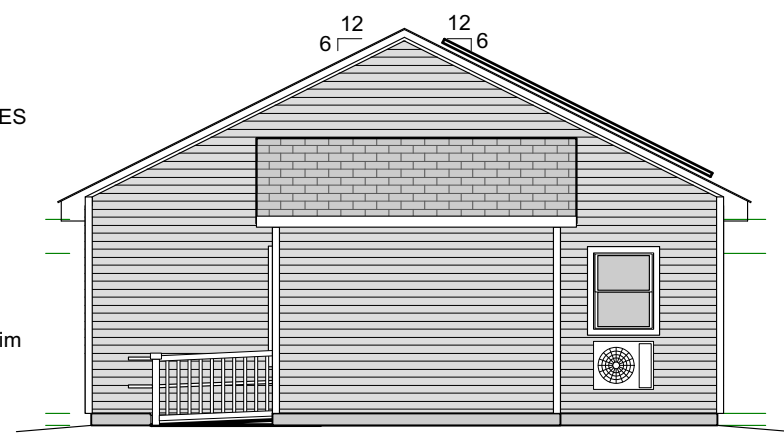
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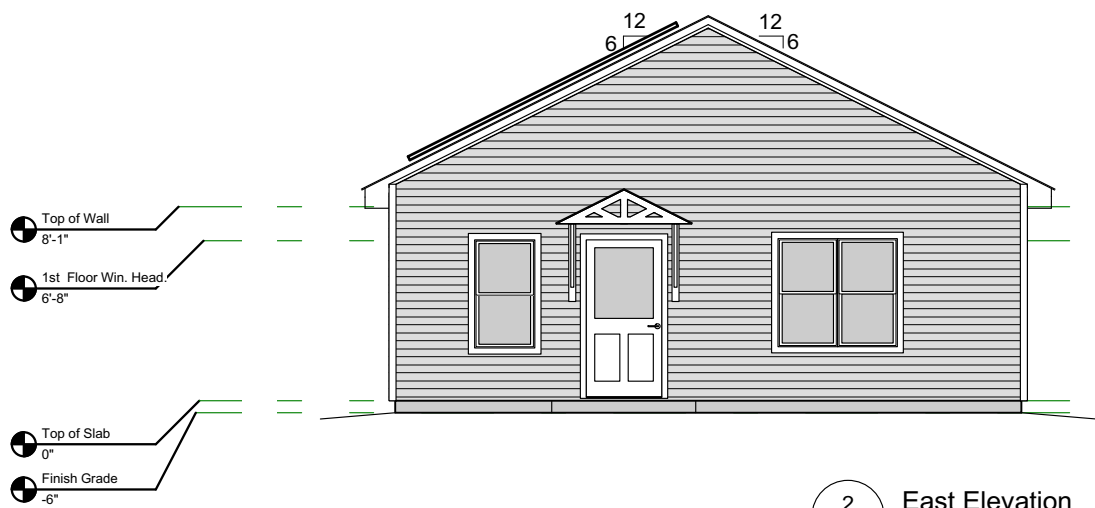
A3.20



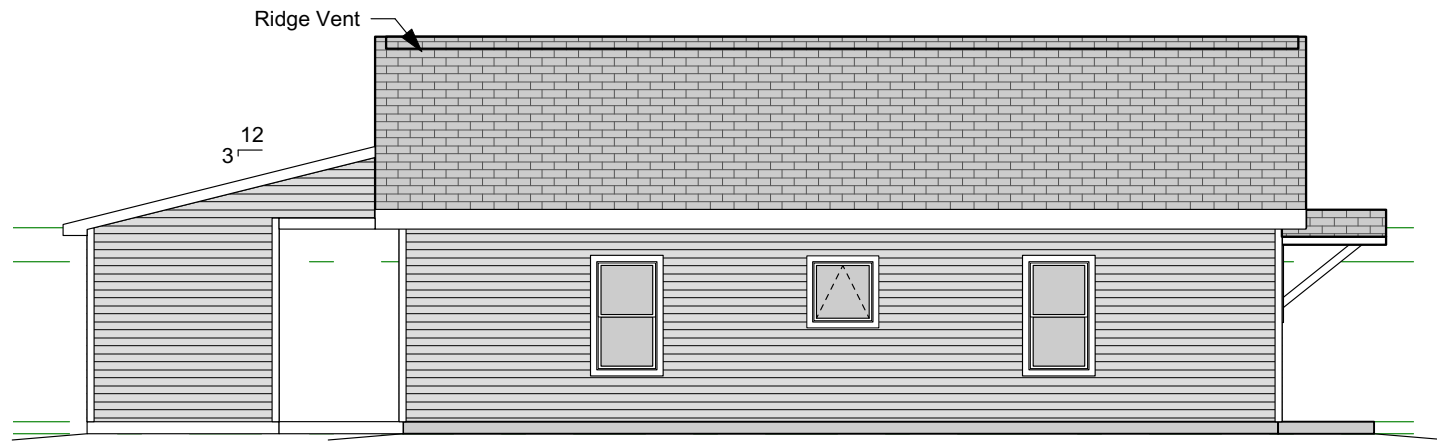
3 South Elevation
A5.10 Scale: 1/8" = 1'-0"



4 West Elevation
A5.10 Scale: 1/8" = 1'-0"



2 East Elevation
A5.10 Scale: 1/8" = 1'-0"



1 North Elevation
A5.10 Scale: 1/8" = 1'-0"

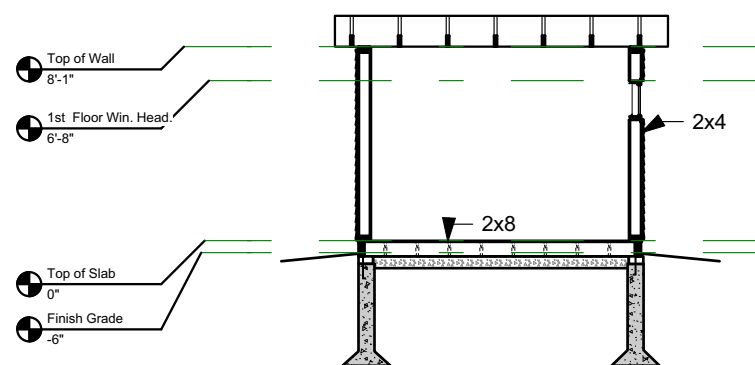


Title: EXTERIOR ELEVATIONS

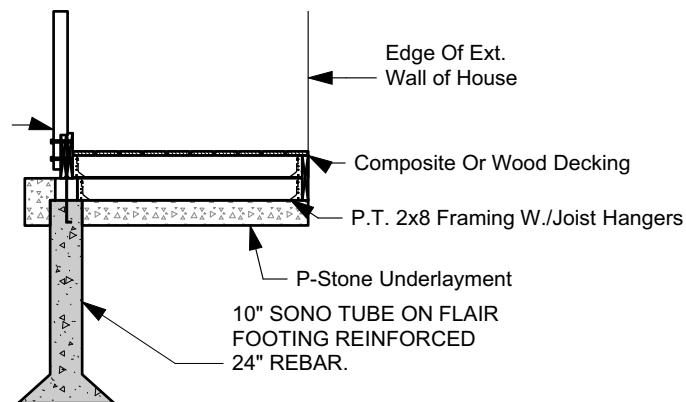
Date: 28 SEPTEMBER 2020

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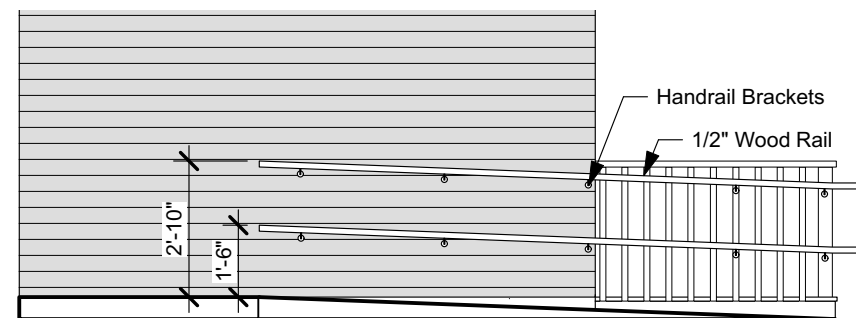
A5.10



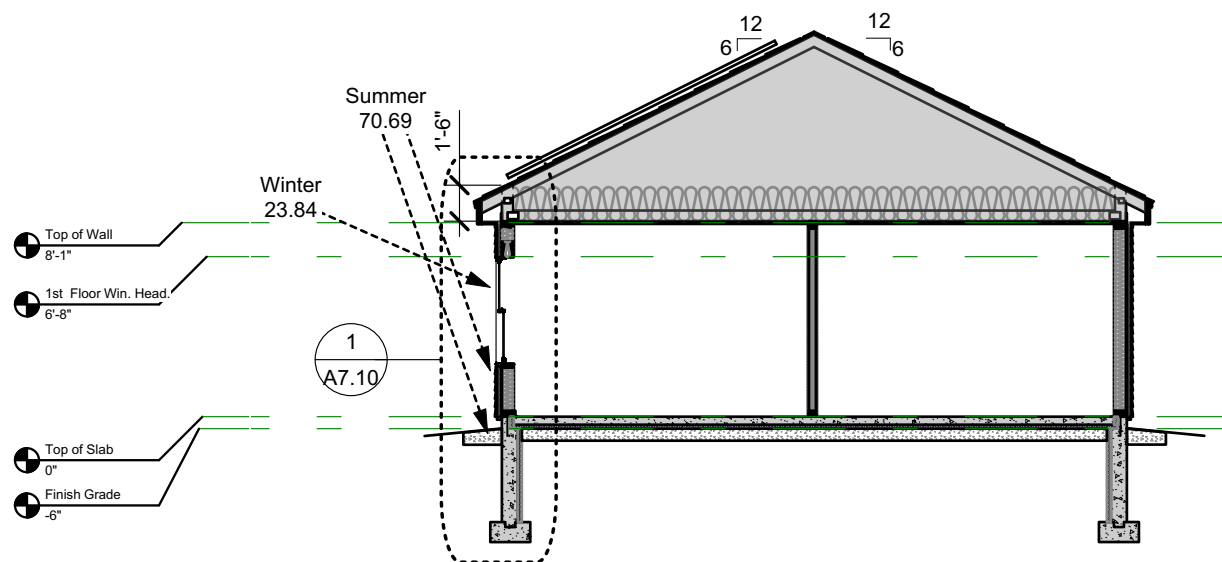
3 Section At Storage Shed
A6.10 Scale: 1/8" = 1'-0"



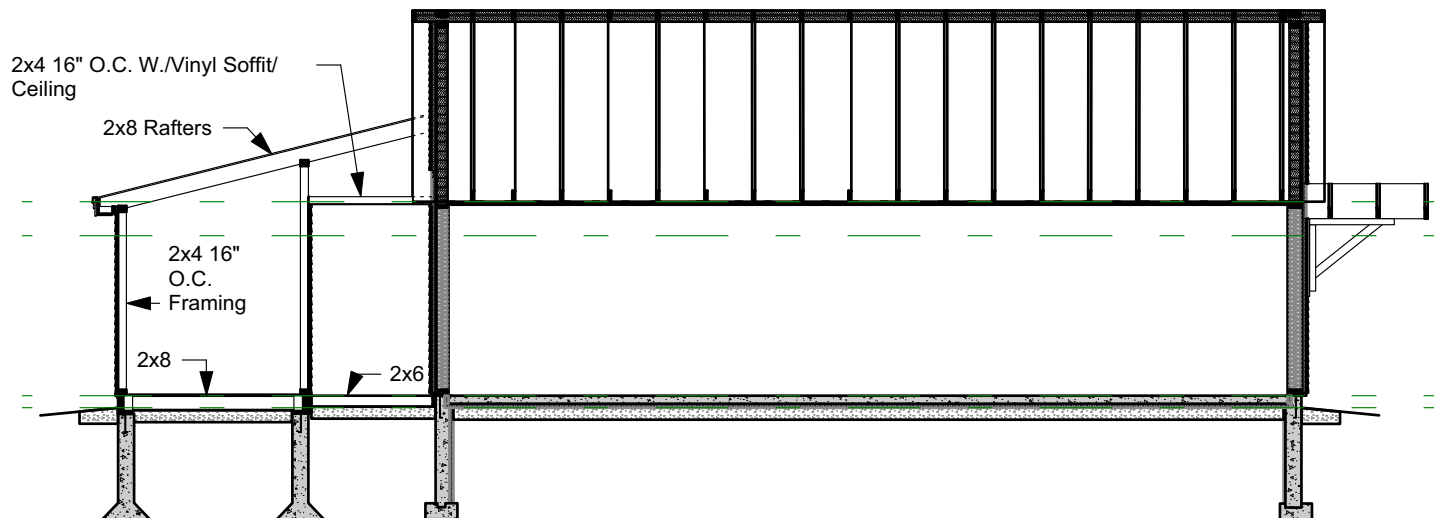
4 Section At Ramp
A6.10 Scale: 1/4" = 1'-0"



5 Section At Ramp
A6.10 Scale: 1/4" = 1'-0"



2 Transverse Building Section
A6.10 Scale: 1/8" = 1'-0"



1 Longitudinal Building Section
A6.10 Scale: 1/8" = 1'-0"

NOTE:

Roof truss 24" o.c.

Final configuration, sizing and design by truss manufacturer, certified by structural engineer registered in MA

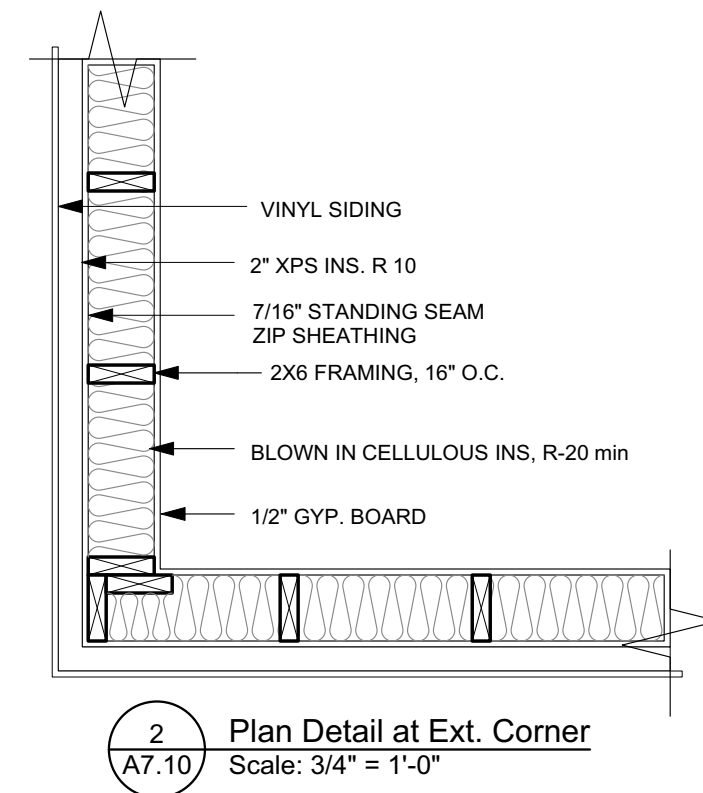
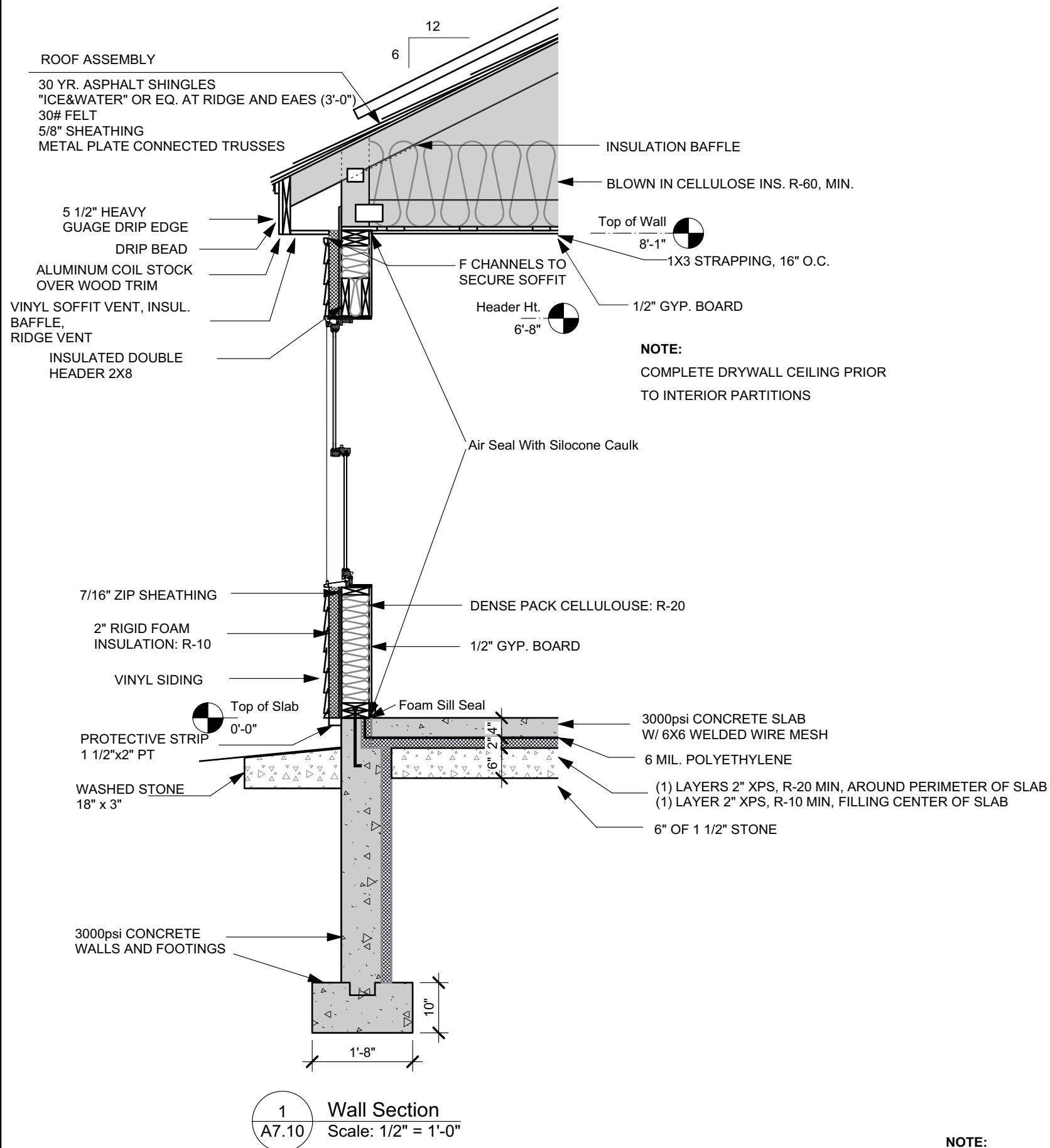


Title: BUILDING SECTIONS

Date: 28 SEPTEMBER 2020

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A6.10



NOTE:
WALL TO BE ASSEMBLED PER HABITAT FOR HUMANITY GUIDELINES



Title: DETAILS

Date: 28 SEPTEMBER 2020

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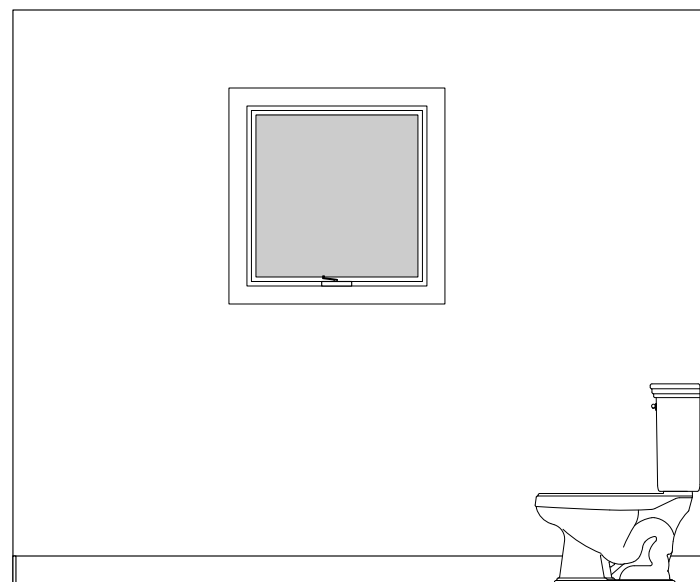
A7.10

**Habitat For
Humanity**

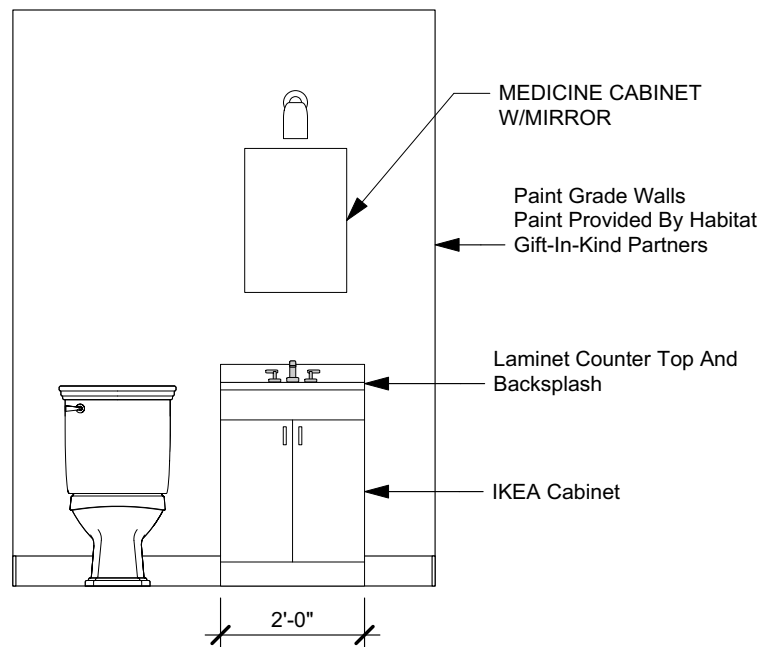
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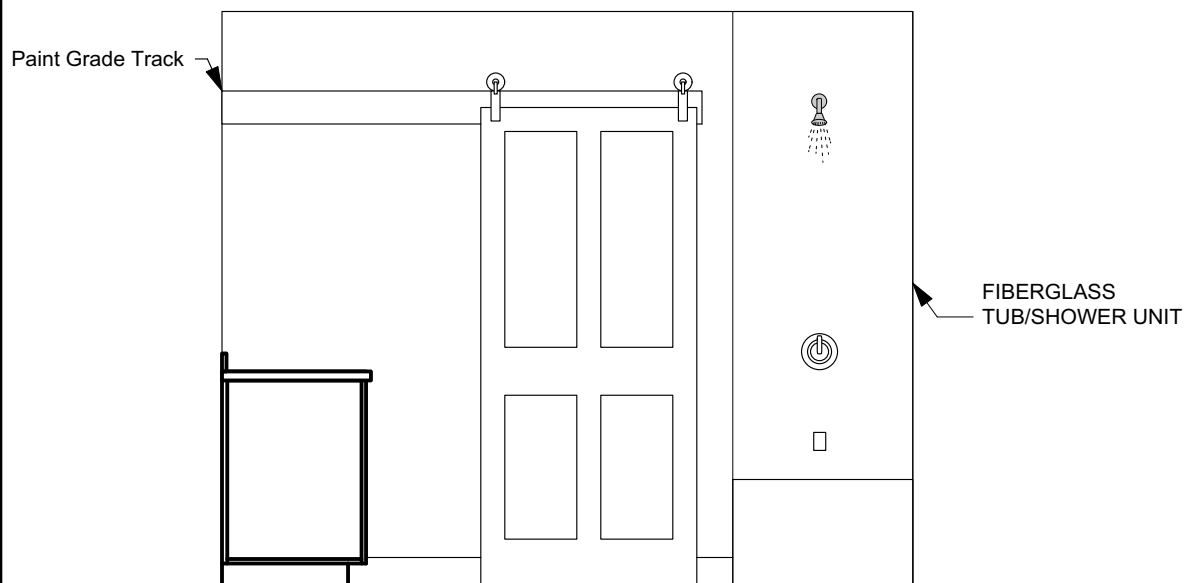
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joanrockwell@gmail.com



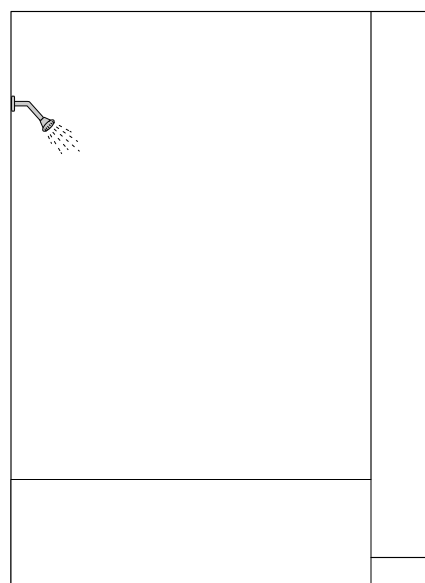
3 North Elevation - Bathroom
A8.10 Scale: 3/8" = 1'-0"



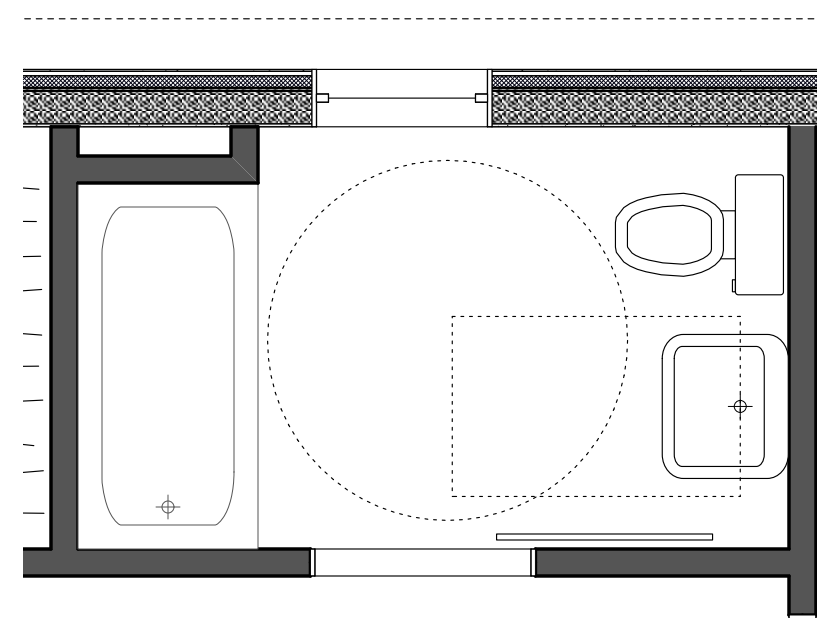
4 East Elevation - Bathroom
A8.10 Scale: 3/8" = 1'-0"



2 South Elevation - Bathroom
A8.10 Scale: 3/8" = 1'-0"



1 West Elevation - Bathroom
A8.10 Scale: 3/8" = 1'-0"



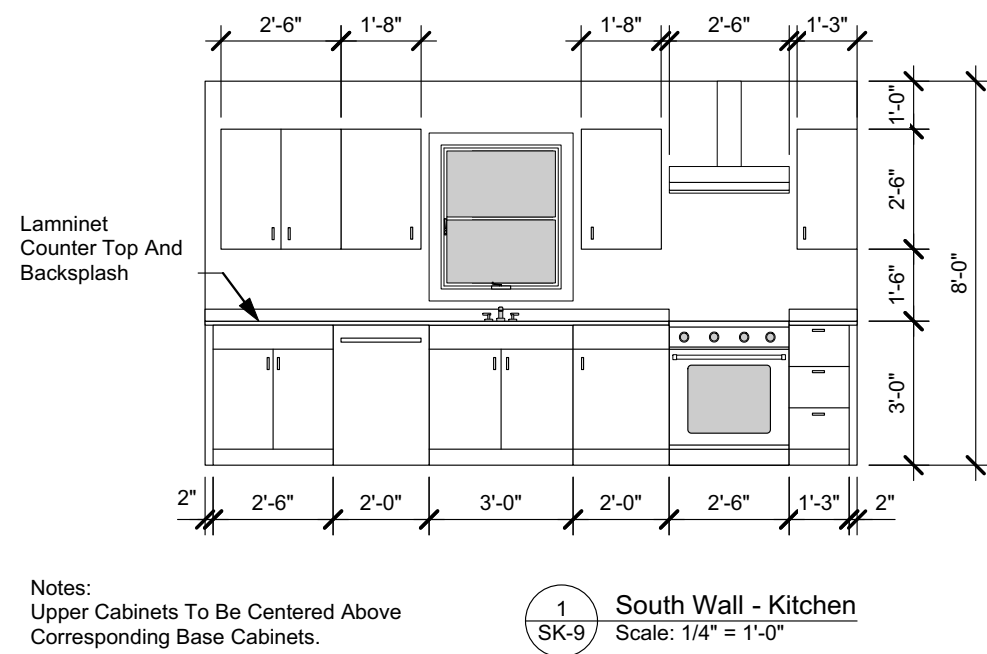
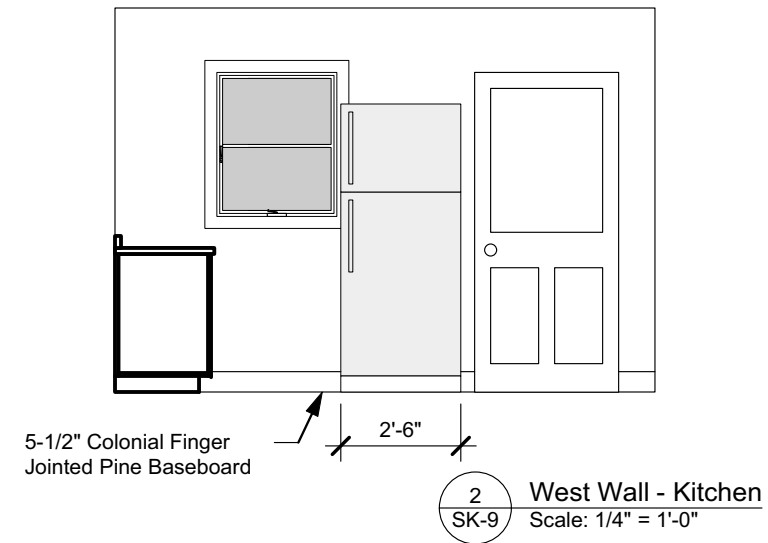
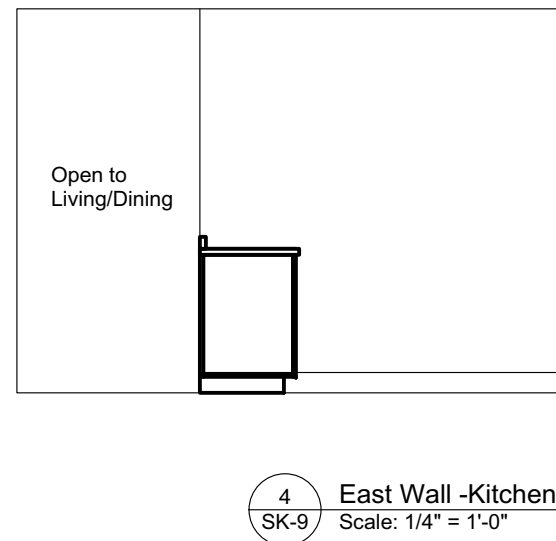
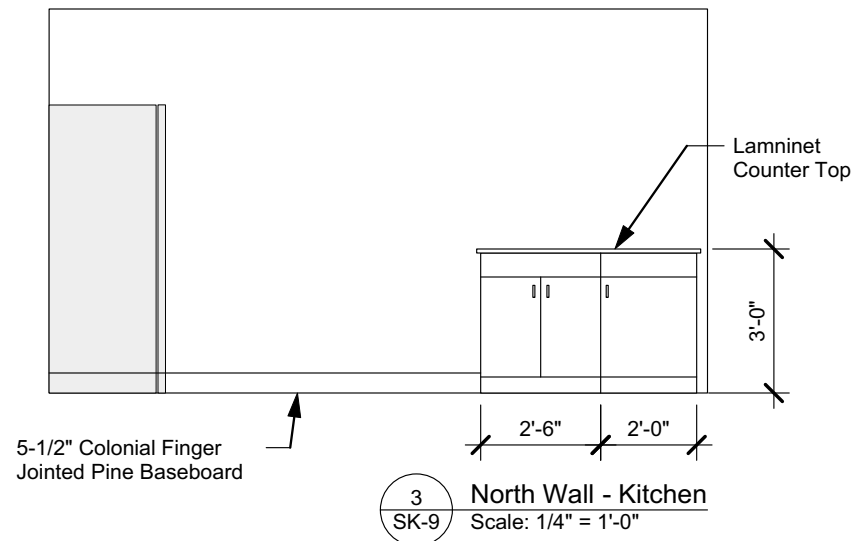
5 Bathroom Floor Plan
A8.10 Scale: 3/8" = 1'-0"



INTERIOR ELEVATIONS
Title: - BATHROOM

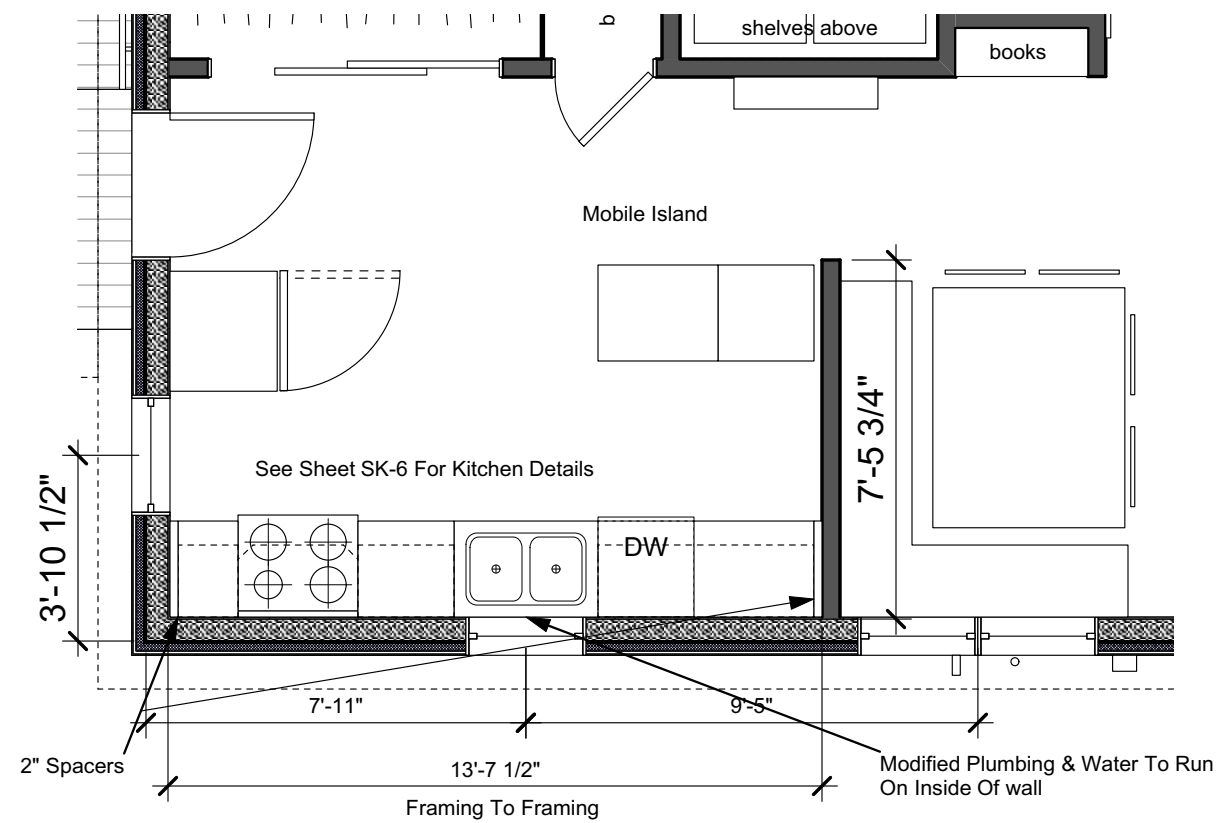
Date: 28 SEPTEMBER 2020

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Notes:
Upper Cabinets To Be Centered Above Corresponding Base Cabinets.

Some Cabinets Will Have To Be Cut To Width.



NOTE:

Partition Wall Material And Construction To Be Determined By Habitat And Homeowners

New Kitchen Plan transplanted from SK-5

New Kitchen Elevations Transplanted From Sk-6



INTERIOR ELEVATIONS
Title: - KITCHEN

Date: 28 SEPTEMBER 2020

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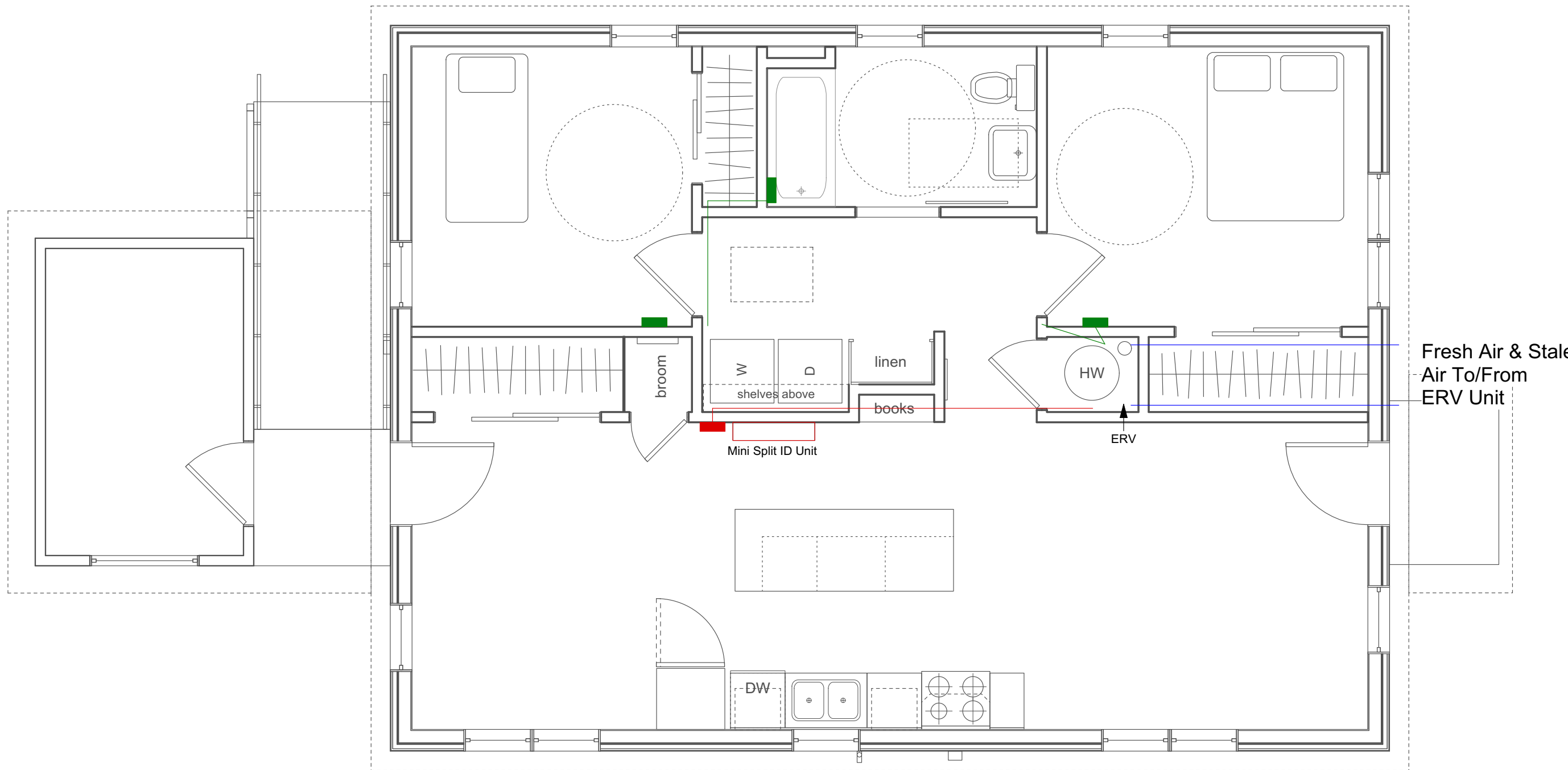
A8.20

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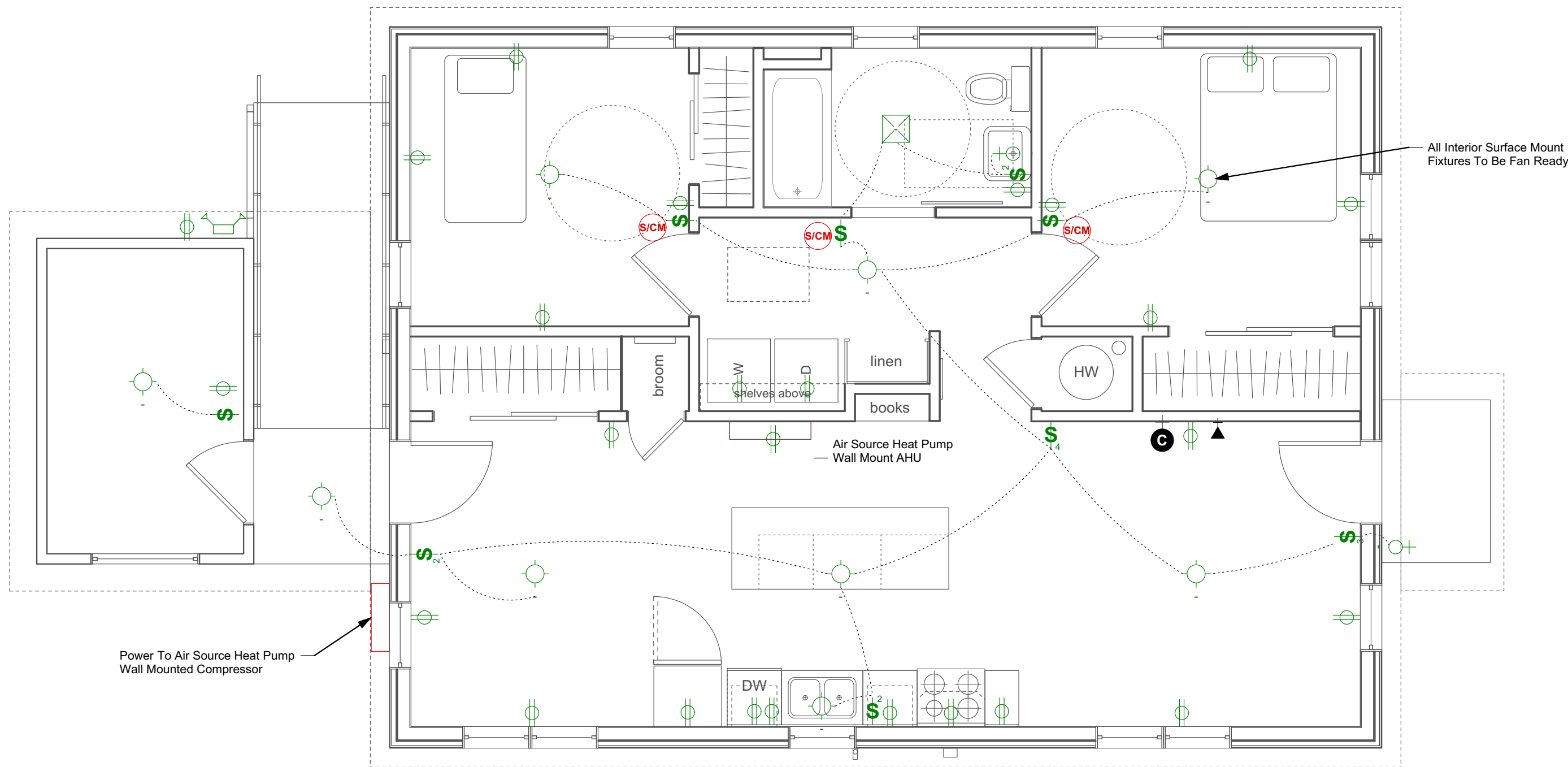


Title: HVAC PLAN

Date: 28 SEPTEMBER 2020

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A10.00

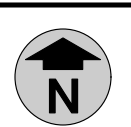


Power To Air Source Heat Pump
Wall Mounted Compressor

All Interior Surface Mount
Fixtures To Be Fan Ready

1 Lighting/Power Plan
A10.10 Scale: 1/4" = 1'-0"

NOTE:
Lighting/Powerplan to be design-build by electrician
1 LED surface mount light fixture in shed
1 outlet and 1 switch installed in attic for radon fan
All surface mount ceiling lights to be ceiling fan rated - except in shed
Placement of lights, outlets and other fixtures may vary
Bathroom and bedroom outlets must be sufficient for an electric space heater
Pre-wire for wall heaters in bedrooms



Title: LIGHTING & POWER PLAN

Date: 28 SEPTEMBER 2020

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A10.10